

ETTON PARISH COUNCIL

<p>Chair: John Holmes, Whitehouse Barn, Main Street, Etton East Riding of Yorkshire HU17 7PG Telephone: 01430 810797 Email: holmesja@btinternet.com</p>	<p>Clerk: Alan Bravey, 3 Ruskin Way, Brough, East Riding of Yorkshire HU15 1GW Telephone: 01482 662292 Email: ettonpc@outlook.com</p>
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3rd January 2024

To: All Members of the Parish Council

Dear Councillor,

I hereby give notice that a meeting of Etton Parish Council will take place at **7:30pm, MONDAY, 8 January 2024** at the Village Hall, Main Street, Etton, HU17 7PG. The Agenda for the Parish Council meeting is as set out below.

Members of the public and press are welcome to attend and may make representation to the Council in the Public Participation period, which will be at the start of the meeting.

Yours sincerely



Clerk to the Parish Council

AGENDA

Public Participation: To receive any questions / issues from the public

1. To receive any apologies for absence
2. To record declarations of pecuniary and non-pecuniary interests by any member of the Council in respect of the agenda items below
3. To receive and agree the Minutes of the Parish Council Meeting, held on Monday 20 November 2023
4. To raise any issues with / receive updates from Ward Councillors
 - Anti-Social Behaviour
5. Action Log Update – Clerk
6. To receive any issues / resident's feedback received by Councillors
7. To receive the following correspondence:

- a) ERYC - Consultation on Local Nature Recovery Strategies
- b) ERYC - Do it For East Yorkshire Community Grant
- c) ERYC - Planning Approval, 84 Main Street - Variation of Condition 9 (Approved Plans) of Planning Application 21/01685/PLF (Erection of replacement dwelling following demolition of existing dwelling) to allow the omission of two chimneys
- d) ERYC - ERYC / Hull devolution deal announced by Government. Statutory consultation will begin in January (not a referendum).
- e) ERYC - Meet ERYC Communities and Environment Services – Wednesday 24 January, 5pm – 7pm at Burnby Hall, Pocklington
- f) Residents - Flooding information for Section19 report
- g) Resident - Dislodged manhole covers
- h) Northern Powergrid - Invite to webinar – Future Energy Scenarios - Thursday, 1 February between 11am and 12pm
- i) ERYC, Street Lighting SLA

8. To consider the following planning applications:

- i. 23/03518/PLF - 118 Main Street – Erection of single storey extension to rear
- ii. 23/03731/PLF - West View Barn, Chantry Lane - Erection of detached double garage to rear

- 9. To agree to replace all existing street light bulbs with LEDs, in order to make a 40-50% efficiency saving
- 10. To note thanks to volunteers for their support in the Christmas Tree Switch On Event
- 11. To note thanks to volunteers for their support in the work at the village Pond, and to receive an update from Councillor Stott
- 12. To consider arrangements for D-Day 2024 Commemorative Event
- 13. To consider entering the Heritage Open Day 6 – 15 September 2024
- 14. To agree a response to the East Riding and Hull Devolution Consultation
- 15. To agree the Parish Council Budget and Precept for 2024/25
- 16. To agree accounts for payment
- 17. To agree agenda items for the next Parish Council Meeting, 11th March 2024

ETTON PARISH COUNCIL MEETING

20 November 2023

PRESENT: Councillor Holmes (Chairman), Bell, Sleight and Stott.

Ward Councillor Wilcock was also in attendance.

12 members of the public were also present.

69/23 DECLARATIONS OF INTEREST – There were no declarations made.

70/23 MINUTES OF PREVIOUS MEETING – Resolved – that the minutes of the Parish Council meeting held on the 11 September 2023 should be approved as a correct record and signed by the Chairman.

71/23 – FLOODING IN THE PARISH - The chair opened the meeting to the public to discuss the recent flooding in the village. A wet summer and autumn had saturated land in the parish, and a number of very heavy rainfall events in September, October and November had led to water running off fields and flooding homes, roads, outbuildings and gardens. There was an agreement that the situation was as bad as had been seen in recent memory in the village, and a feeling that something must have changed to exacerbate the situation. East Riding of Yorkshire Council were due to carry out a flood investigation report in Etton and other parts of the county. All residents who had experienced or witnessed flooding were strongly encouraged to share videos, photographs, and accounts of flooding to floodrm@eastriding.gov.uk. The Council were particularly keen to receive dates and times of flooding, whether the flooding was within a property, outhouse or garden, and whether there were obvious signs that infrastructure failure had led to the flooding.

Resolved – i) that Councillor Stott and a number of volunteers would speak to residents not present at the meeting and may have flooded and encourage them to share information with the East Riding Council ii) that the Clerk would prepare a village newsletter containing the relevant information. iii) the Parish Council would ask ERYC for a CCTV inspection of low points of the main drain to inspect for silt, a survey of the land to explore feasibility for landowners to divert any of the surplus water during heaving rain events, and to jet gullies annually following harvest iv) that the Parish Council would engage with the Estate / Landowners when the outcome of the flood investigation report was known.

72/23 WARD COUNCILLOR UPDATE – Councillor Wilcock advised that East Riding of Yorkshire Council had reached an agreement on a draft devolution deal with Hull City Council, and that this was due to be announced in the Autumn Statement. ERYC Full Council would consider the proposal on the 21st December, and if approved, the proposal would then be opened to public consultation in January. This would be consultation but not a referendum. Councillor Wilcock gave an update on the various outstanding planning applications.

73/23 ACTION LOG UPDATE – The Community Payback Team had painted the pond fence, and the resurfacing of Church Way had been completed. There had been interest in the community bird box initiative, but no boxes had been completed yet. The Coronation Bench had been installed by the Village Hall, and the lifesaving device installed at the pond. The front cover of the device was faulty and a repair had been requested. ERYC had replaced the damaged Welcome to Etton sign. ERYC had agreed to inspect the overgrown trees in the Parish. Landscaping work on the pond would be reviewed in the New Year, but Councillor Stott agreed to ask for volunteers to plant hedging and have a general tidy up.

74/23 PARISH COUNCILLOR UPDATE – There was a leak in the Light Dragoon Car Park, running onto the Main Road and the road surface from the Hunt to the Malton Road was breaking up. Both issues would become hazardous in winter and it was agreed the Clerk would report to ERYC. The brightness of the new LED lamp in the village was noted and the Clerk agreed to pick up with ERYC through their ongoing conversations regarding the new street lamp opposite the Light Dragoon.

75/23 CORRESPONDENCE – Resolved – i) that the following correspondence should be received by the Council, and the Clerk would report were appropriate:

- i. Resident – Reporting Missing Village Name Sign
- ii. Resident – Flooding Issues in Village
- iii. ERYC – Children and Young People Safe Guarding Advice
- iv. ERYC – Planning Approval – Conversion of Timber Outbuilding / car port to create holiday let, Harthill Barn, 104 Main Street
- v. ERYC - Webinar on Devolution and ER Design Code Briefing available to watch
- vi. Resident - No 7 Street Light is not Working
- vii. HWRCC - East Riding Household Support Fund for Oil Customers
- viii. ERYC - Street Lighting Service Level Agreement for 2023/24
- ix. Smile Foundation - Digital Grants Launched to support communities to connect and boost digital inclusion.
- x. ERYC - East Riding Climate Plan Survey
- xi. Councillor Horton - Resignation as a Parish Councillor.
- xii. Resident – Raised man hole covers

76/23 CHRISTMAS TREE AND LIGHTS SWITCH ON - Resolved – i) That Councillors Holmes and Slight would arrange for the purchase and installation of the Christmas tree and ii) a small event would be held to switch on the lights, with mulled wine and mince pies on the 8th December.

77/24 ACCOUNTS FOR PAYMENT – Resolved – i) that it be noted that the following accounts had been paid by bank transfer:

- Clerk – Fence Painting Materials – £94.05
- Peter Ford – Gardening Service - £314.50
- Clerk – Two Poppy Wreaths - £50

ii) and that the following accounts be approved for payment:

- Alan Bravey – November and December Salary - £107.92
- HMRC - £71.20

Signed: _____

Dated: _____

Etton Parish Council - Action Log

Action	Status	Lead	Update
Heritage Open Day	Ongoing	Clerk	resubmit for 2024. On agenda to review appetitite in taking part.
Install new lamposts	Ongoing	Clerk	No resposne received from follow up letter to residents. Asked ERYC to install lamp outside VH. To be installed by end of financial year..
Planning Enforcement Issues	Ongoing	Clerk	6/9/23 Update - Planning Enforcement continuing to progress issue
Bird Box Initiative	Ongoing	Cllr Stott	Run community engagement initiative engaging residents to build bird boxes for installation at pond.
Parish Councillor Secondment	Ongoing	Clerk	Promote vacant parish councillors positions. No interested received to date.
Pond landscaping	Ongoing	Cllrs Holmes and Stott	Landscaping area discussed at the last meeting is now covered in water. Propose that water levels are monitored and reviewed in the new year. 6 Villagers and Councillor Stott planed 120 hedge whips at the pond. A further 120 proposed to be purchased (£120 approx) and planted in January. Volunteer has come forward to help maintain and tidy area, including trimming the overgrown laurel.
D-Day Commemorations	Ongoing	Clerk	Review at January Agenda Council produced newsletter re flood investigation report. Cllr Stott and volunteers have target residents who may
Flooding in Parish	Ongoing	Clerk / Cllr Stott	have been flooded but not present at Parish Council meeting. Clerk to submit points raised at the Parish Council meeting to ERYC.
Repairs	Ongoing	Clerk	Clerk to report water leak in Light Dragoon Car Park, the road surface on Main Street from the Hunt to Malton Road, and damaged manhole covers.

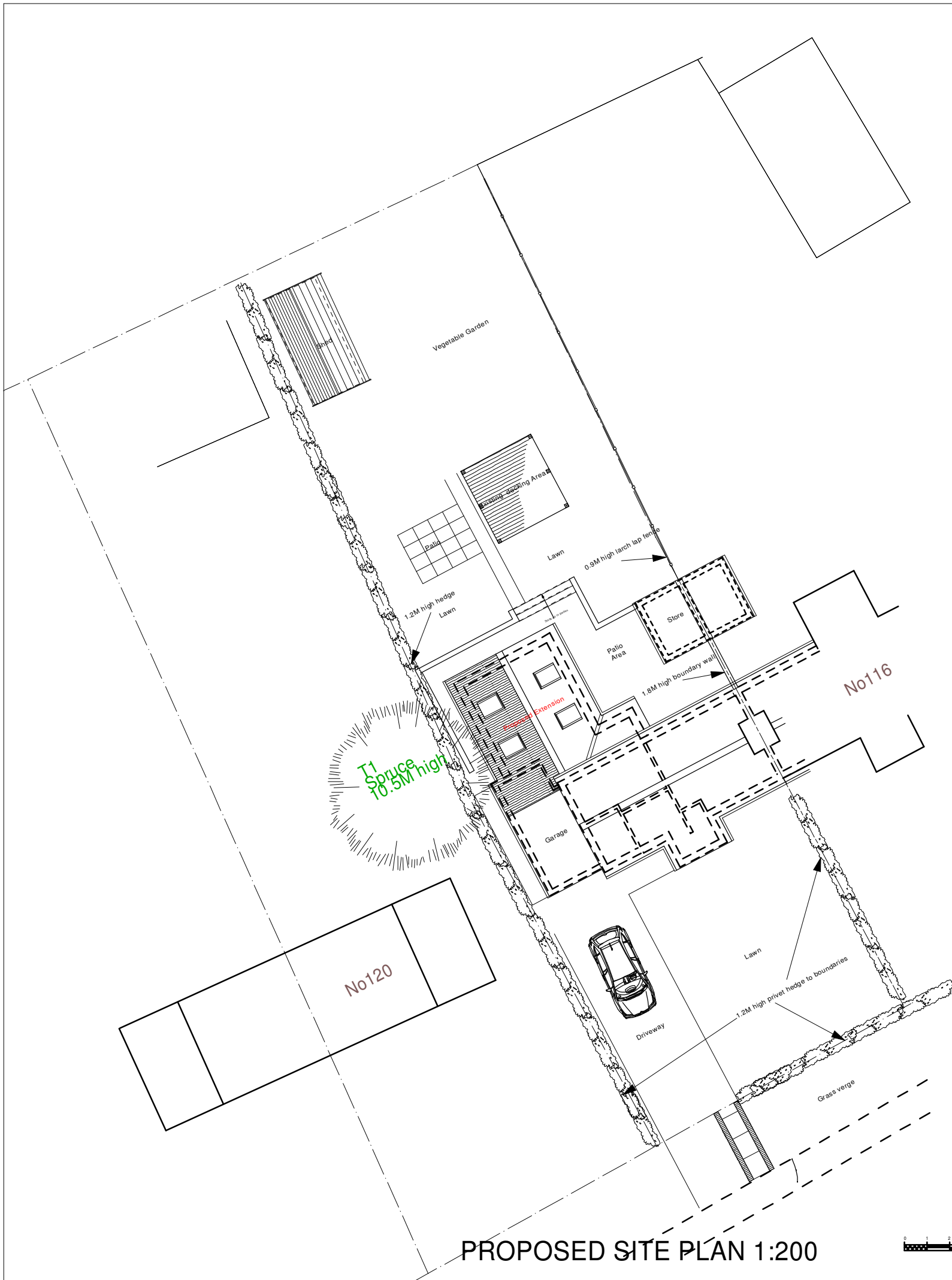
Etton Parish Council Correspondence Record

12 November to 3 January 2023

The Clerk will circulate correspondence when considered appropriate. If Councillors would like to see a copy of correspondence that has not been circulated, please notify the Clerk on ettonpc@outlook.com on 07932 016856.

Date Received	Attached?	From	Purpose of Correspondence
16 November	N	ERYC	<p>Consultation on Local Nature Recovery Strategies were introduced as part of the Environment Act (2021) to provide a co-ordinated approach to nature recovery and help deliver the Government's vision for a Nature Recovery Network across England.</p> <p>LNRs have several essential functions, including:</p> <ul style="list-style-type: none">• Prioritising funding for nature recovery via Biodiversity Net Gain, a strategy to develop land while contributing to the recovery of nature.• Helping to deliver the Environmental Land Management Scheme, a new scheme providing payments to farmers and landowners who deliver environmental benefits.
22 November	N	ERYC	<p>Additional funding available through the The Do it For East Yorkshire Community Grant provides activity funding of between £1,500 and £5,000 to voluntary and community groups, as well as town and parish councils in the East Riding. Groups can also apply for an additional amount of up to £7,500 if they require small capital spend.</p> <p>We are committed to supporting activity that will provide community activities to improve health & well-being, improve access to local resources & services and reduce social isolation. This fund is to help support new, additional activity or pilot projects rather than activity that is already running</p>

22 November	N	ERYC	Planning Approval, 84 Main Street - Variation of Condition 9 (Approved Plans) of Planning Application 21/01685/PLF (Erection of replacement dwelling following demolition of existing dwelling) to allow the omission of two chimneys
23 November	N	ERYC	ERYC / Hull devolution deal announced by Government. Statutory consultation will begin in January (not a referendum).
24 November	N	ERYC	Meet ERYC Communities and Environment Services – Wednesday 24 January, 5pm – 7pm at Burnby Hall, Pocklington
Various	N	Residents	Flooding information for Section 19 report
12 December	N	Resident	Dislodged manhole covers
19 December	N	Northern Powergrid	Invite to webinar – Future Energy Scenarios - Thursday, 1 February between 11am and 12pm
28 December	N	ERYC	Street Lighting SLA – proposal to retrofit existing heritage lanterns with LED lamps, free of charge, reduce the SLA by between 40 and 50% for next financial year.



LOCATION PLAN 1:1250



DO NOT scale from drawings - work to figured dimensions. Contractor to notify Architects of any discrepancies. It is the contractors (or sub-contractor as relevant) responsibility to verify the relevant dimensions on site BEFORE manufacturing or ordering items. Drawing to be read in conjunction with relevant clauses from the Specification / Schedule of Work and Engineers Structural Calculations and Details if applicable.

**PROPOSED ALTERATIONS & REAR EXTENSION
 AT 118 MAIN STREET, ETTON, EAST RIDING OF
 YORKSHIRE, HU17 7PQ
 FOR MR & MRS HEBBLETHWAITE.**

LOCATION & SITE PLAN

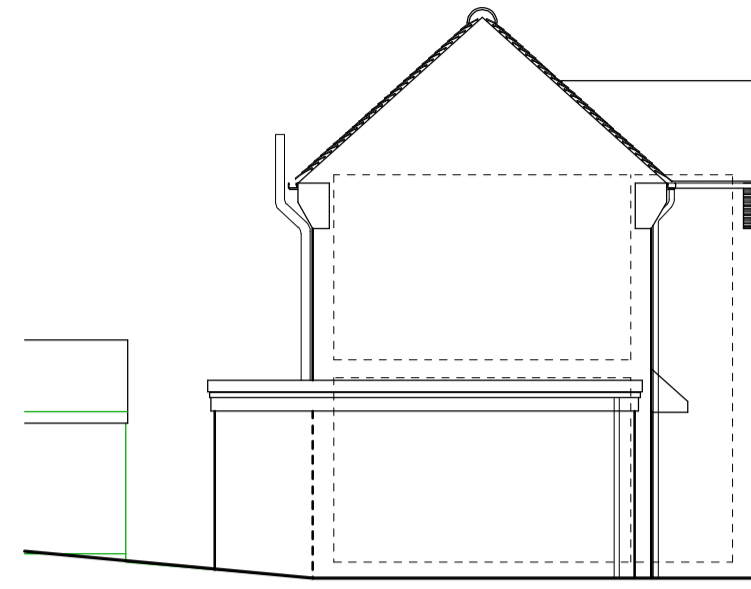
SCALE: 1:200 @ A3	NOTES:
DATE: SEPT 2023	Planning Submission 15-11-23
DRG No: 395-1A	Rev 'A' - Tree T1 details added

Michael Bamforth BA Hons Architecture Limited. Architectural Design Land & Property Survey Project Management	The Old Loft Cherry Blossom Barn Harland Way Cottingham East Yorkshire HU16 5TA Tel: (01482) 332270
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0 1 2 3 4 5m SCALE BAR - ELEVATIONS



No 120 FRONT ELEVATION No116



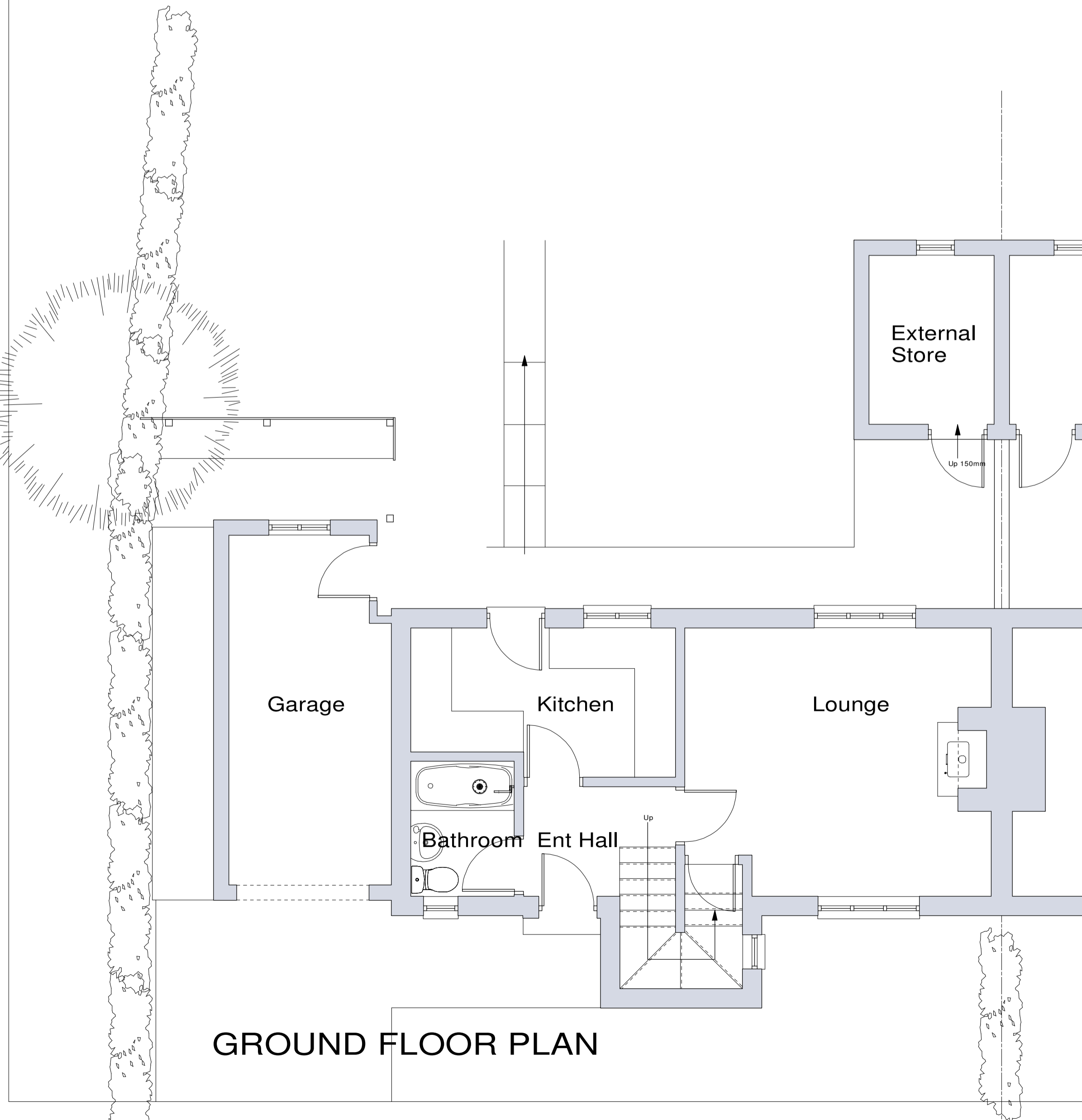
SIDE ELEVATION



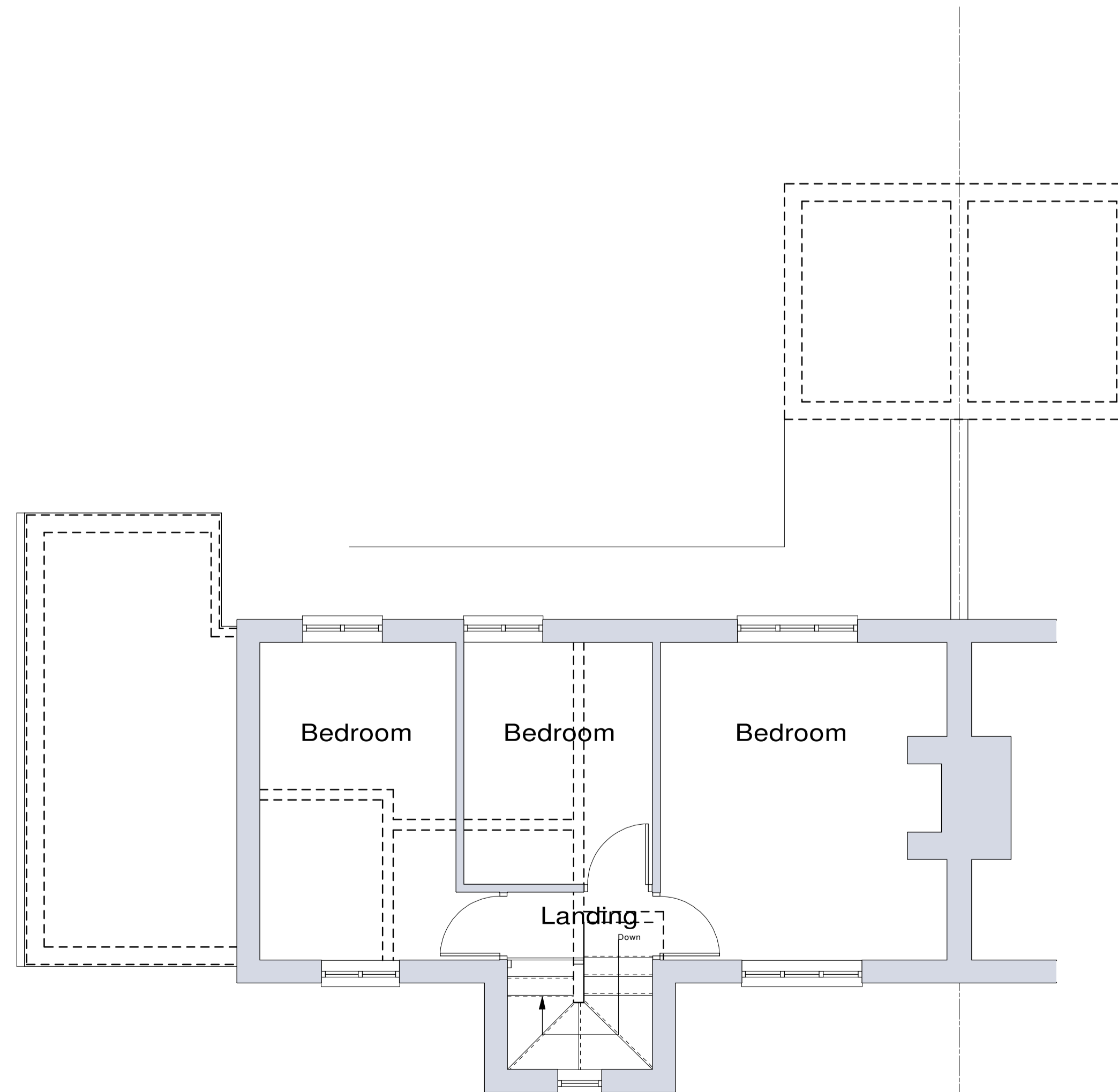
No116 REAR ELEVATION No 120



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

0 1 2 3 4 5m

DO NOT scale from drawings - work to figured dimensions. Contractor to notify Architects of any discrepancies. It is the contractors (or sub-contractor as relevant) responsibility to verify the relevant dimensions on site BEFORE manufacturing or ordering items. Drawing to be read in conjunction with relevant clauses from the Specification / Schedule of Work and Engineers Structural Calculations and Details if applicable.

**PROPOSED ALTERATIONS & REAR EXTENSION
AT 118 MAIN STREET, ETTON, EAST RIDING OF
YORKSHIRE, HU17 7PQ
FOR MR & MRS HEBBLETHWAITE.**

SURVEY OF EXISTING

SCALE: 1:50 & 1:100 @ A1

DATE: SEPT 2023

DRG No: 395-2A

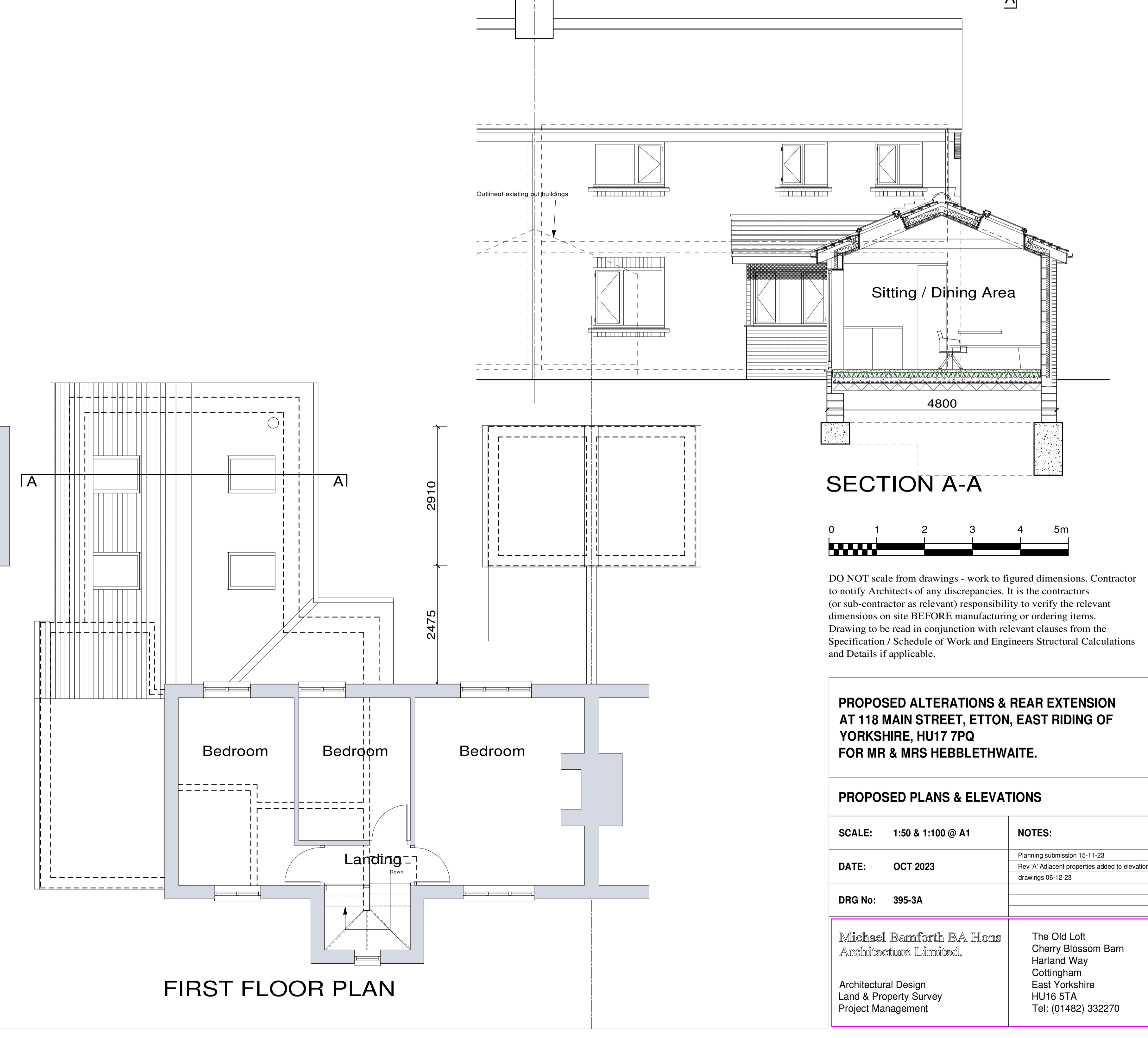
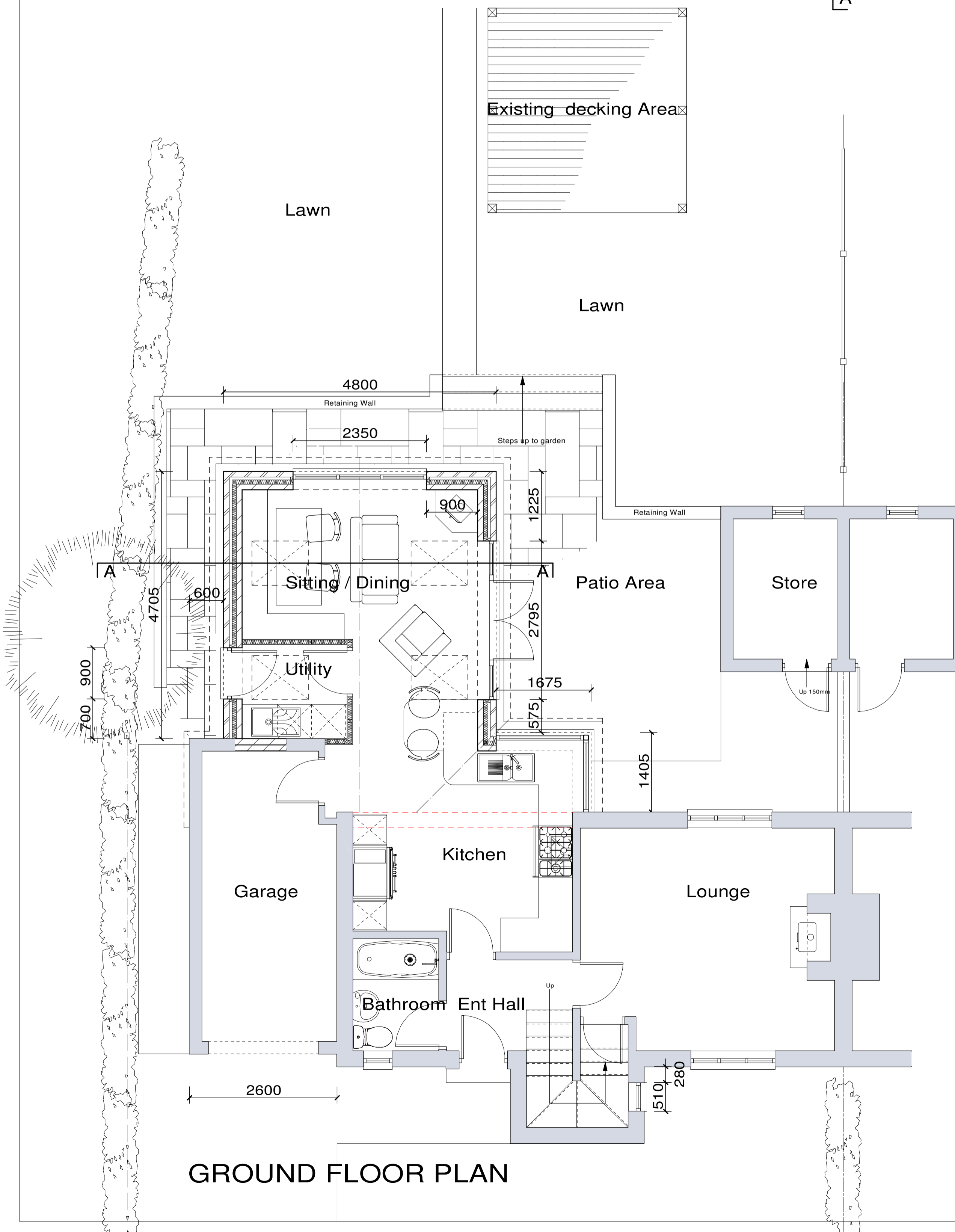
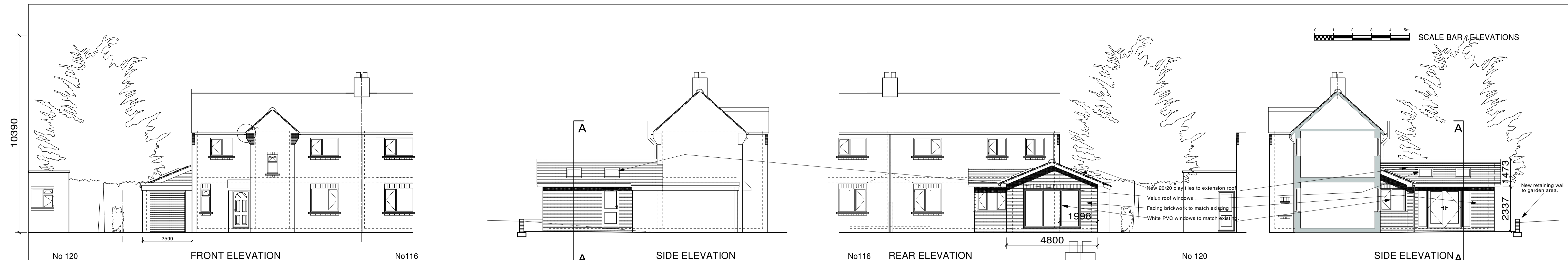
NOTES:

Planning submission 15-11-23
Rev 'A' Side Elevation & adjacent properties
added 06-12-23

Michael Bamforth BA Hons
Architecture Limited.

Architectural Design
Land & Property Survey
Project Management

The Old Loft
Cherry Blossom Barn
Harland Way
Cottingham
East Yorkshire
HU16 5TA
Tel: (01482) 332270



DO NOT scale from drawings - work to figured dimensions. Contractor to notify Architects of any discrepancies. It is the contractor (or sub-contractor as relevant) responsibility to verify the relevant dimensions on site BEFORE manufacturing or ordering items. Drawing to be read in conjunction with relevant clauses from the Specification / Schedule of Work and Engineers Structural Calculations and Details if applicable.

PROPOSED ALTERATIONS & REAR EXTENSION AT 118 MAIN STREET, ETTON, EAST RIDING OF YORKSHIRE, HU17 7PQ FOR MR & MRS HEBBLETHWAITE.	
PROPOSED PLANS & ELEVATIONS	
SCALE: 1:50 & 1:100 @ A1	NOTES:
DATE: OCT 2023	Planning submission 15-11-23 Rev 'A' Adjacent properties added to elevation drawings 06-12-23
DRG No: 395-3A	
Michael Bamforth BA Hons Architecture Limited. Architectural Design Land & Property Survey Project Management	The Old Loft Cherry Blossom Barn Harland Way Cottingham East Yorkshire HU16 5TA Tel: (01482) 332270

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231127/R/120/3.1/RDS

rd stott
Architects Limited

Design & Access Statement with combined Heritage Statement
for

Proposed New Detached Double Garage

at

West View Barn, Chantry Lane, Etton, East Riding of Yorkshire HU17 7PE

on behalf of

Mrs Sharon Wolstencroft



The Studio @
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Etton
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INTRODUCTION

This Design and Access Statement with Combined Heritage Statement is in support of a new Householder Planning Application for the proposed erection of a detached two Bay Garage to the grounds of West View Barn, Chantry Lane, Etton.

The Design and Access Element, along with the proposed drawings seeks to address and confirm compliance with Local and National Planning Policies for the proposed addition of this detached building within the grounds of the existing property in terms of appearance, layout, and scale, while the Heritage Element seeks to shown that the proposed building will not cause harm to the character of the area or nearby buildings.

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DESIGN AND ACCESS

APPRAISING THE CONTEXT

Assessment

Site and Physical Context

West View Barn, Chantry Lane, Etton is a single storey Barn conversion sitting within approximately a quarter of an acre of relatively level land just off Chantry Lane.

The site sits outside the development limits of the village within open countryside and within the Etton Conservation Area.

There are two listed properties nearby, St Mary's Church to the south and St Mary's House to the east. The development site is not visible from either property.

During development of the barn a significantly large timber clad barn building was demolished to make way for a small addition to the existing barn, while a large Dutch barn was also demolished to clear the site. A photo of this can be seen on the front cover.



West View Barn,
Chantry Lane,
Etton

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Evaluation

The scheme proposes a small two bay garage with a small enclosed outdoor kitchen area facing onto the garden. While permitted development is not allowed for the site, the scheme has been designed within Permitted Development guidelines for size and scale, proposing a scheme that is set within the site and at least 2m away from neighbouring boundaries, and with a ridge height of less than 4m.

The proposed scheme has taken full account of the context of the site, its orientation and its relationship to its surroundings to maximize its use while minimizing its impact on the landscape and its neighbours.

The proposed scheme has been designed to be sympathetic to the existing character of the area and the neighbouring properties.

The style proposed will be predominantly traditional; a timber clad building with red pantile roof and oak frame detailing to the garage doors to give it the look of a timber framed agricultural building sourced from a palette of high-quality materials and used in a high-quality manner that will be appropriate and sensitive to the existing building and setting.

Amount

The scheme proposes a small two bay garage with a covered outdoor kitchen area that has been designed within Permitted Development limits. Within its setting and the plot of land, it is proposed that this scheme is not excessive and is suitable for the site, sitting comfortably within its setting and the wider area.

Use

The scheme proposes a two bay garage for the parking of cars as might be expected as part of a residential property.

It is therefore proposed that a garage within a residential setting is therefore appropriate.

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Layout

The layout of the scheme has been designed to respect the site layout, orientation and conditions, while minimizing its impact on the existing landscape as much as possible.

The scheme is laid out to respect the existing buildings and to reduce its impact on its setting and its neighbours.

Scale

The buildings footprints, orientation, height and scale have all been kept to a minimum to reduce their size and scale where possible.

It is therefore proposed that the scheme is totally appropriate for the location and setting in terms of size, scale and massing and therefore, in keeping with the area and its neighbours.

Planning Policies and Planning Precedent

A Pre Application Enquiry was submitted for the proposed garage and this was responded to by East Riding of Yorkshire Planning Department.

Ref: 22/10934/PREP Date: 22nd November 2022

The letter advised that further information was required, and that any application would need to be supported by a Design and Access Statement with Heritage Statement.

It also highlighted the planning policies we would need to address:

East Riding Local Plan Strategy Document (ERLP SD) (April 2016)

Policy ENV1 Integrating high quality design

Policy ENV3 Valuing our heritage

Policy S4 Supporting development in Villages and the Countryside

National Planning Policy Framework (NPPF) (2021)

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Therefore, Planning Assessment:

Design/Impact on the Character of the Conservation Area

As this garage building will be outside the development limits of the village, Policy S4 (A) states that development will be supported to help maintain the vibrancy of Villages and the Countryside where it: (1) is of an appropriate scale to its location taking into account the need to support sustainable patterns of development. Part (C) of policy S4 goes on to identify the forms of development that are supported in the Countryside, where proposals respect the intrinsic character of their surroundings.

Whilst this does not list householder outbuildings as a specific form of development, paragraph 4.53 states for clarity that; "development limits are not intended to exclude the prospect of development to residential dwellings, where these are of an appropriate size and respectful to the character of the area".

We therefore propose that this small double garage could easily be seen to be an intrinsic part within a residential setting and not out of character, designed within permitted development guidelines for size and scale, it will be appropriate in terms of size and respectful of the area.

Policy ENV1 of the ERLP is a relevant policy consideration as it expects development to achieve a high quality of design that optimises the potential of the site and contributes to a sense of place by having regard to the characteristics of the site's wider context and character of the surrounding area. The site is within the Conservation area of Etton where section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 imposes a similar duty of ensuring that the character and appearance of the conservation area is preserved and enhanced.

The proposed garage is set to the rear of the property when viewed from the street to the rear of the drive and therefore set back from the street and thus reducing its impact. With a footprint of 7.4m x 6m and with a front eaves height of 2.5m and a rear eaves height of 1.1m and with a ridge height at just below 4m this building will not impact on

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the site or surrounding area being designed within permitted design guidelines for size and scale.

The design is proposed as a simple timber clad out building that would not look out of place in an open country with the use of matching tiles to the host property. This is a small double garage and sitting within the size of the plot, this building will not appear dominant, but will rather be in keeping with its setting and host building. Additionally, taking into account level changes within the areas and landscaping, and with the building being set back from the main street it will only be marginally visible from the street. All in all, considering the layout of the site and the positioning of the proposed garage within the site it is proposed, no significant harm would be introduced to the area, with only marginal visibility to the street scene within the conservation area.

Overall, it is proposed that the principle of the scheme should be considered to be acceptable in terms of Local Planning Policy, legislation and the HHDG. The development is not considered to result in harm or loss of character or amenity of the surrounding area. The scheme sympathetically relates to the main dwelling in terms of materials, style, and proportions, and will not overly dominate the dwelling or the plot. It is therefore proposed that the development would not have any detrimental impact on the character or appearance of the local area. The proposal therefore complies with policy S4 of the ERLP SD. The proposal also complies with policies ENV1, & ENV3 of the ERLP SD, Legislation Section 72, as well as the NPPF insofar as these seek to secure high quality design and a good quality landscape.

Heritage Impact

The NPPF in paragraph 189 states that heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance. For the purposes of heritage policy, significance is the value of a heritage asset to this and future generations because of its heritage interest. This includes not only its physical presence, but also its setting, which is defined as the surroundings in which a heritage asset is experienced.

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The NPPF advises that for proposals affecting heritage assets, the applicant should describe the significance of any heritage assets affected, including any contribution made by their setting. The Local Planning Authority should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including development affecting its setting) and avoid or minimise any conflict between the conservation of the heritage asset and any aspect of the application. Policy ENV3 expands on the NPPF, and seeks to conserve the significance, views, setting, character, appearance and context of heritage assets, especially those key features which contribute to the East Riding's distinctive historic character. Listed Buildings and their settings are specifically listed as one of those key features.

Paragraph 194 of the NPPF requires the local planning authority to identify and assess the particular significance of any heritage asset that may be affected by a proposal, taking account of the available evidence and any necessary expertise.

It is therefore proposed that the proposal is not considered to affect the setting of the Conservation Area. Consideration as to what harm, if any, the proposal would have on the character and appearance of the conservation area has been taken into consideration within this report, and we conclude that there would be no significant harm to this part of the conservation area when considering the locality of the proposal. Within the area there are a couple of Listed Buildings, as previously mentioned, St Mary's Church to the south and St Mary's House to the east. The development site is not visible from either property. It is therefore proposed that no significant harm would be introduced to the setting of these properties.

We therefore propose that the proposed garage can be considered to be acceptable in terms of heritage impact and is therefore in accordance with policy ENV3 of the ERLP SD, as well as Section 16 of the NPPF and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Residential Amenities

It is noted that the site is set back from the main road and has a good separation to

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neighbouring properties. Policy ENV1 states that development proposals should have regards to the amenity of existing or proposed properties.

The scheme proposed the development of a small single storey detached double garage of modest dimensions and height. It is proposed that it will be timber clad and will not have any windows. An outdoor kitchen which will be covered and closed off when not in use is shown to the west elevation. This will be hidden from view and will not overlook other properties or be overlooked. In this instance the use of this part of the building would be considered as incidental to the main dwelling and would be used in a similar way as if the owner of the property was having a Bar-b-Q in his garden. therefore no different to someone using the garden. Therefore, it is proposed that this proposal should be considered to be acceptable in terms of the HHG with no overlooking issues, overshadowing or any sense of enclosure to be experienced by nearby neighbours

Therefore, it is proposed that the proposal for this garage would not therefore cause any harm to the visual or residential amenities of any neighbouring dwellings property. Complying with policy ENV1 and the NPPF insofar as these seek to ensure a good level of amenity for existing and future residents.

Other Recent Planning Precedents within the Village

Planning Application 23/00337/PLF

Erection of a detached building to the rear of 38 Main Street, Etton HU17 7PQ

The building proposed sits outside the development limits of the village within open countryside and also sits within the Etton Conservation Area and near to Listed Buildings. Application Approved.

Planning Application 22/01602/PLF

Erection of Pool house, Pergola, Greenhouse, Potting Shed, Office, Swimming Pool within the grounds of St Mary's House

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The building proposed sits outside the development limits of the village within open countryside and also sits within the Etton Conservation Area and within the garden demise of a Listed Building.

Application Approved.

The buildings, built as part of this approved application, effectively block any possible view and harm of the proposed garage in relation to the listed building St Mary's House.

National Planning Policy Framework

The NPPF sets out a positive presumption in favour of sustainable developments, which this proposal clearly is. This application proposes a small scale addition to an existing building with a high quality design, making use of the upper level of this existing building to provide much needed office floorspace within the heart of Beverley.

Conclusion

In summary it is felt that this design therefore accords with all local and national planning policy requirements of the relevant development plan policies and national planning policy guidance as set out in the above mentioned policies in that it proposes a scheme that is well designed and of a high quality that will make a positive contribution to the area, will not impact on the character of the area or the building. Will reinforce the distinctiveness of the building while also being visually attractive and making good use of the building without being over dominant or intrusive.

It is therefore hoped that the Planning Authorities agree with these findings and are minded to recommend this scheme for approval.

Richard D Stott

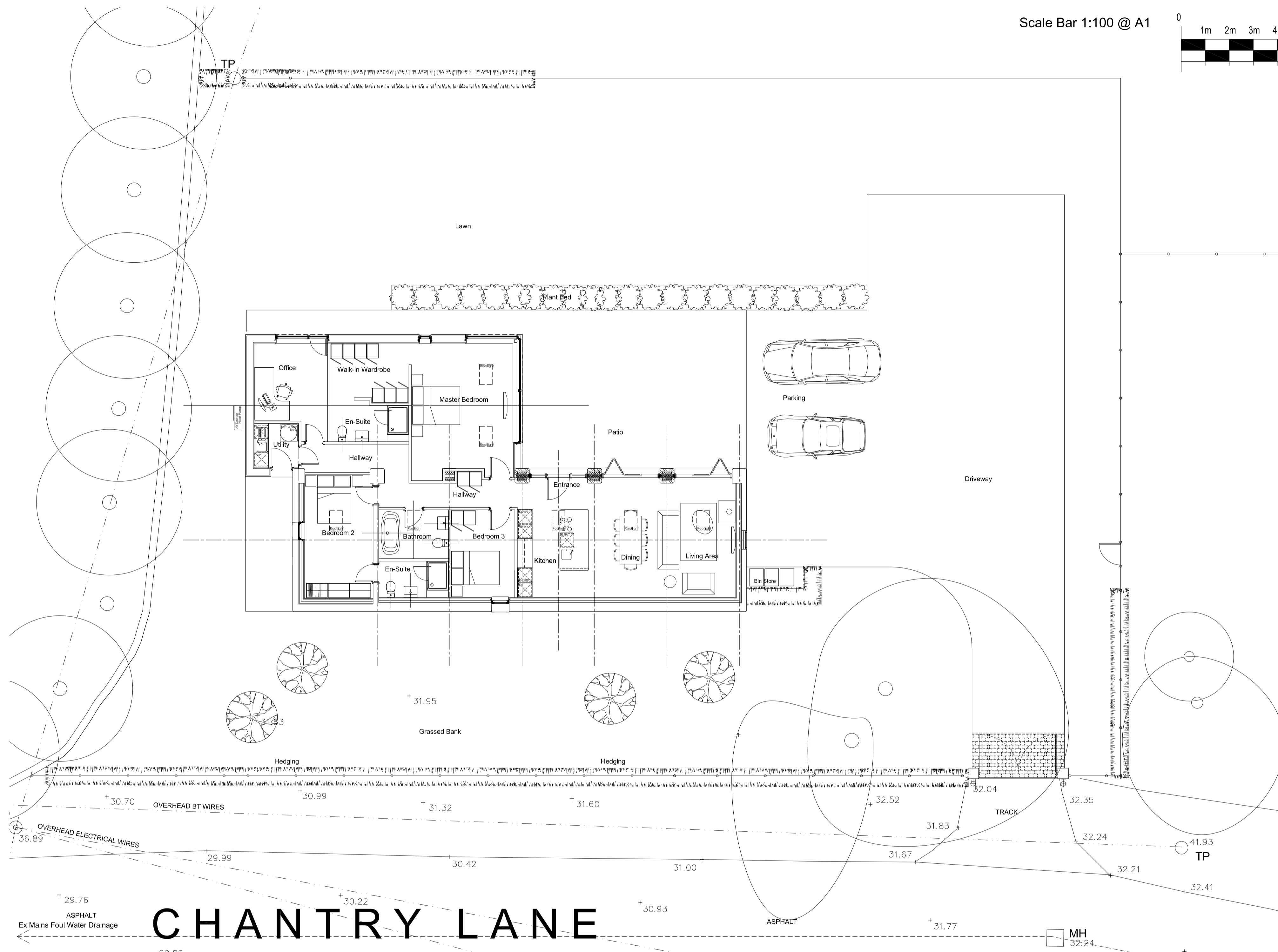
RIBA

Architect

R D Stott Architects Limited

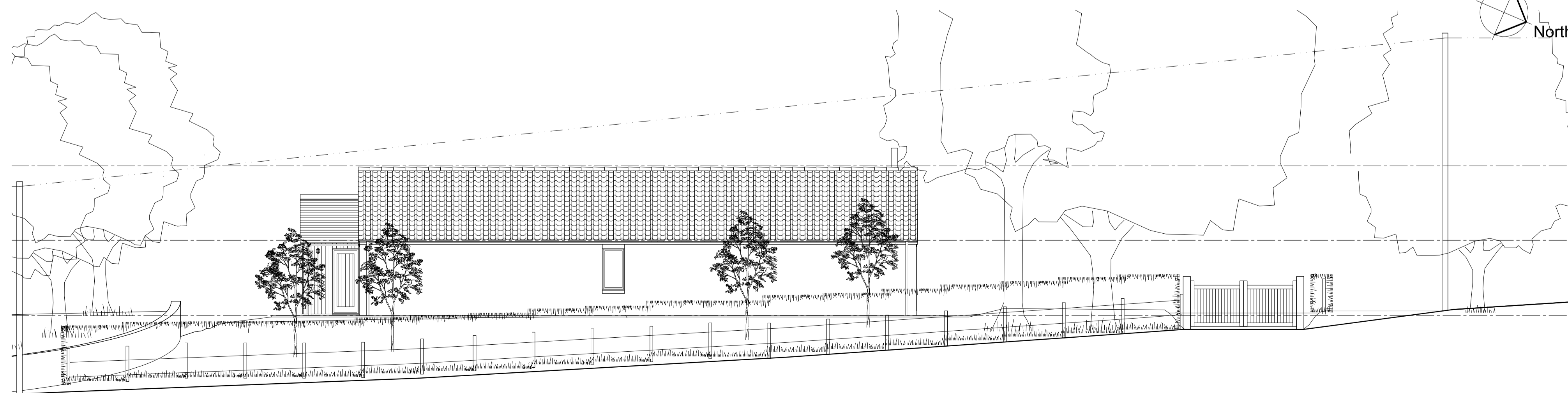
27th November 2023

Scale Bar 1:100 @ A1



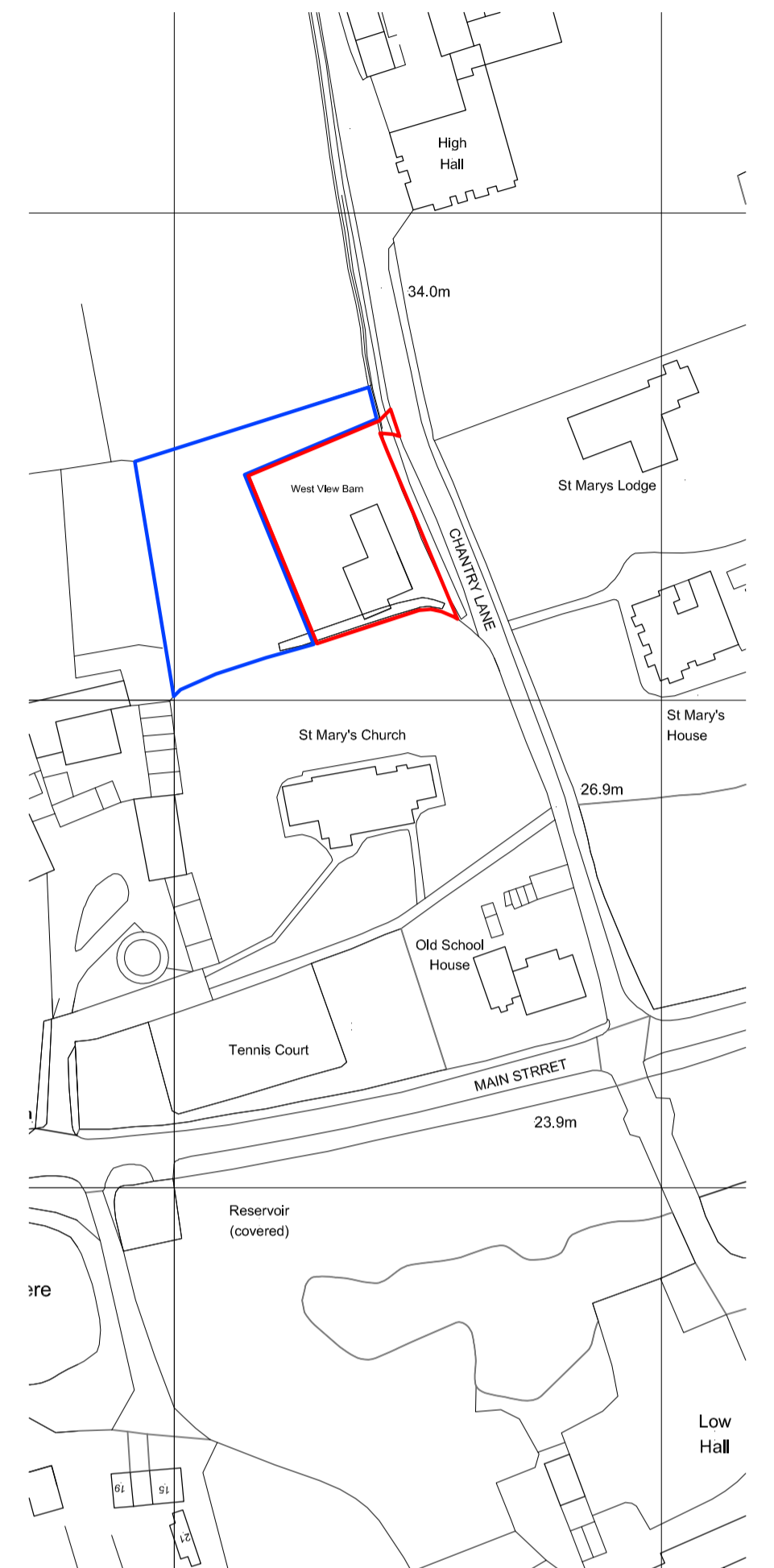
Existing Ground Floor Site Plan

Scale 1:100 @ A1



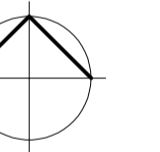
Existing Chantry Lane Street Elevation

Scale 1:100 @ A1



Location Plan

Scale 1:1250 @ A1
North



Rev	Comments	Drawn	Apprd	Date
C	Issued as part of a Planning Application for Approval	RDS		03.12.23
B	Issued to Client for Approval	RDS		22.11.23
A	Issued as part of a Pre Application Enquiry for Comment	RDS		19.10.22

FOR APPROVAL

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Project: Proposed Garage @
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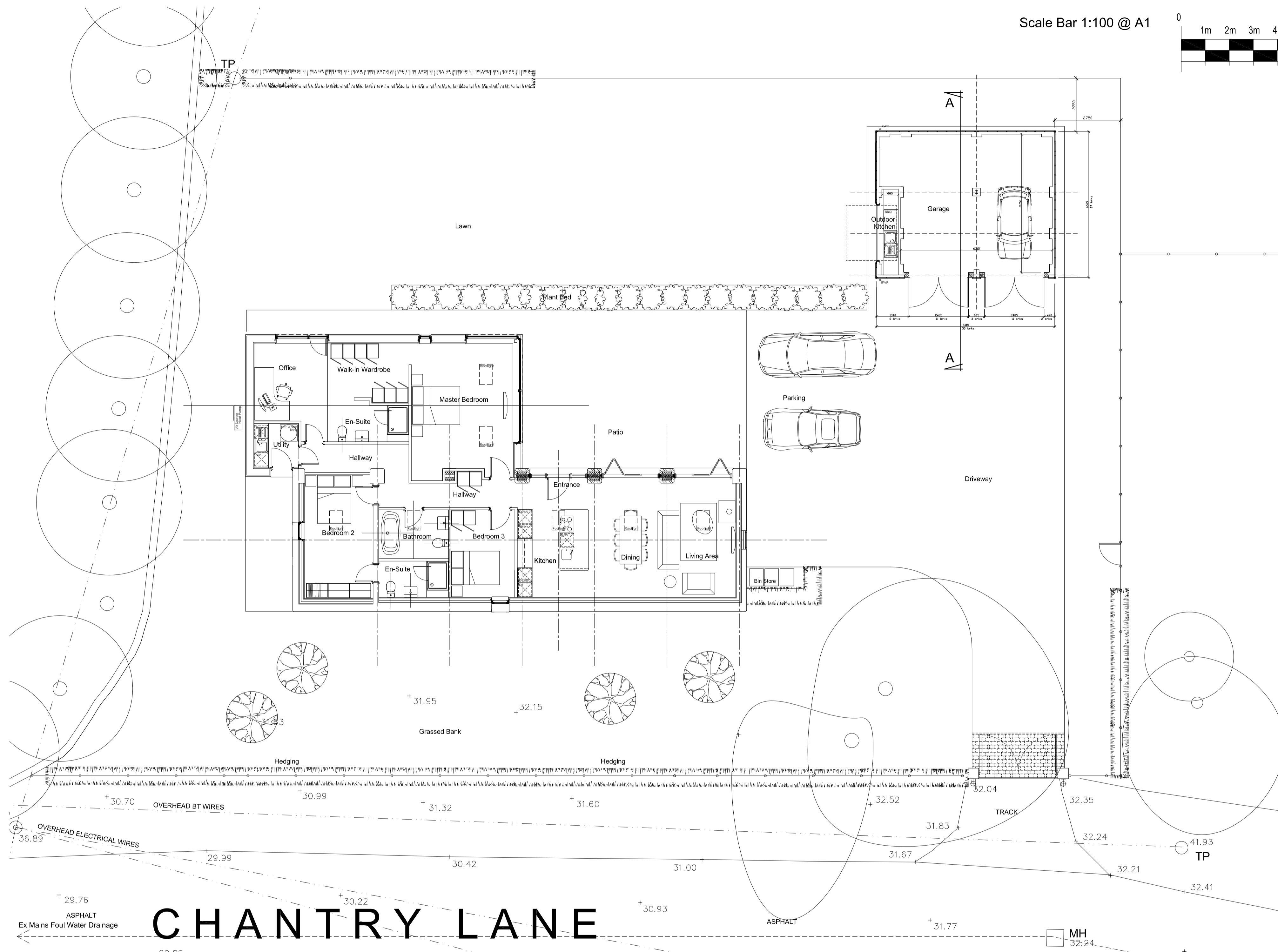
Title: Location Plan plus
Existing Ground Floor Site Plan and
Existing Chantry Lane Street Elevation

Scale: 1:1250; 1:100 @ A1 / 1:2500; 1:200 @ A3

Project Number: 2022.120
Drawing Number: 700
Rev: C

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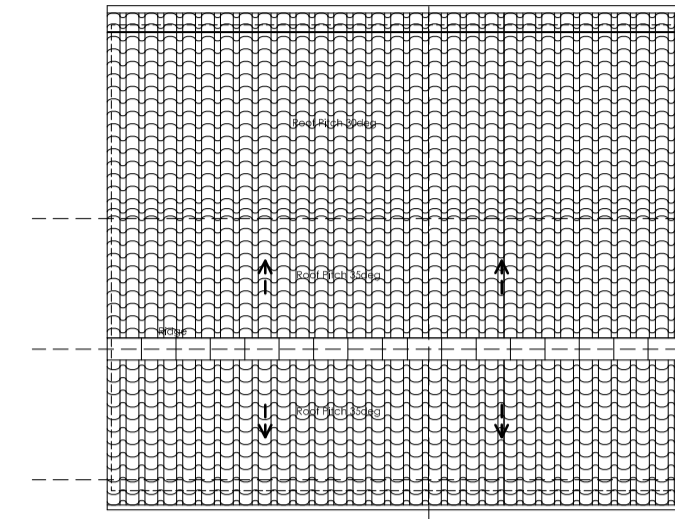
Scale Bar 1:100 @ A1



Proposed Ground Floor Site Plan

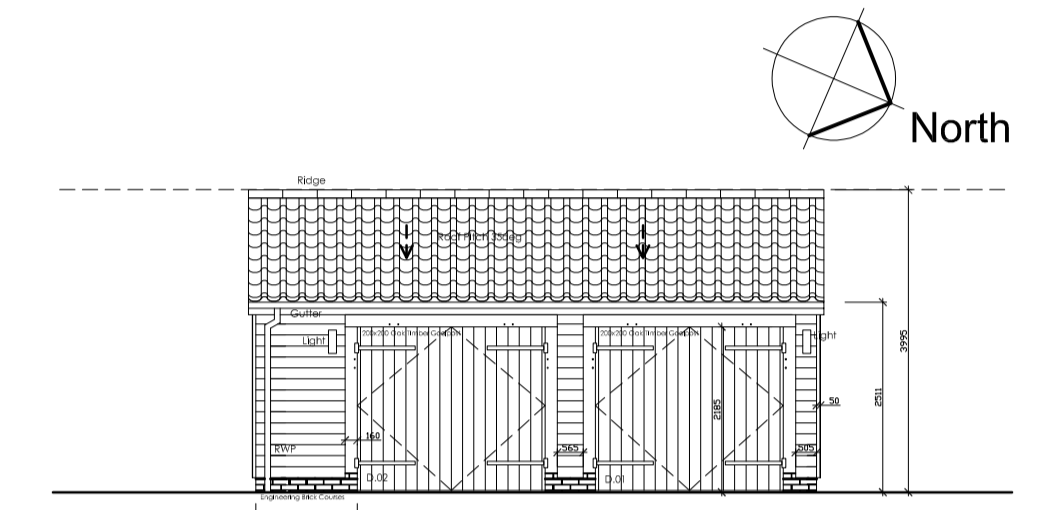
Scale 1:100 @ A1

Proposed Garage Plans and Elevations:



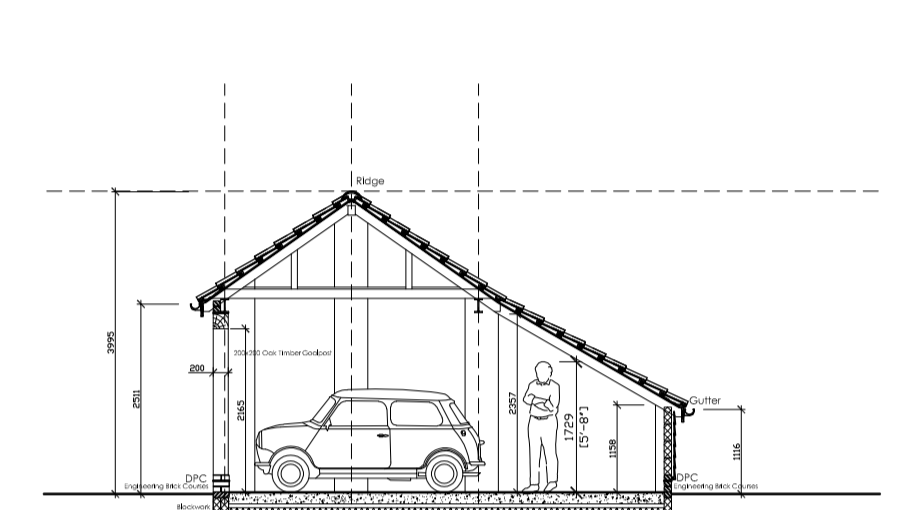
Proposed Roof Plan

Scale 1:100 @ A1



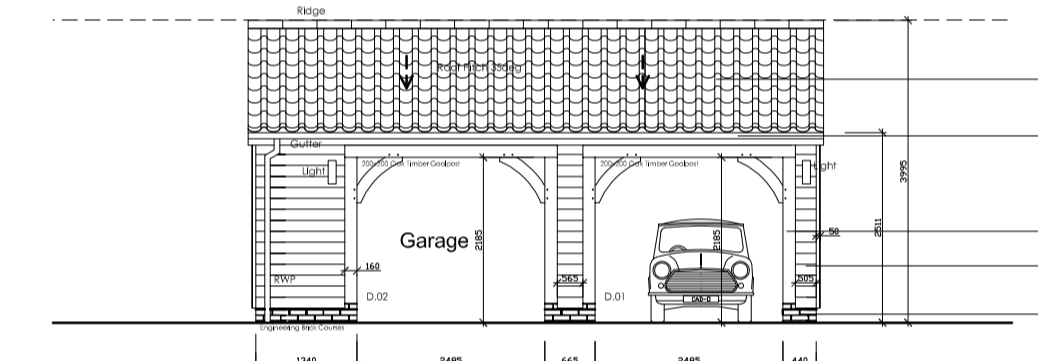
Proposed Front East Elevation with Doors

Scale 1:100 @ A1



Proposed Section AA

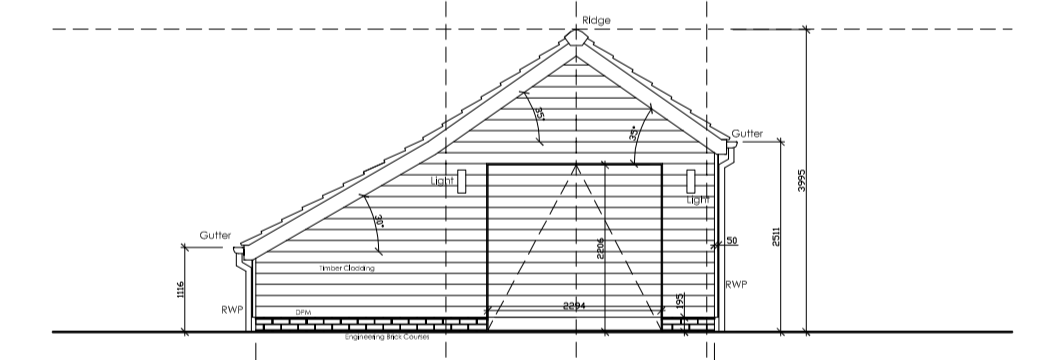
Scale 1:100 @ A1



Proposed Front East Elevation without Doors

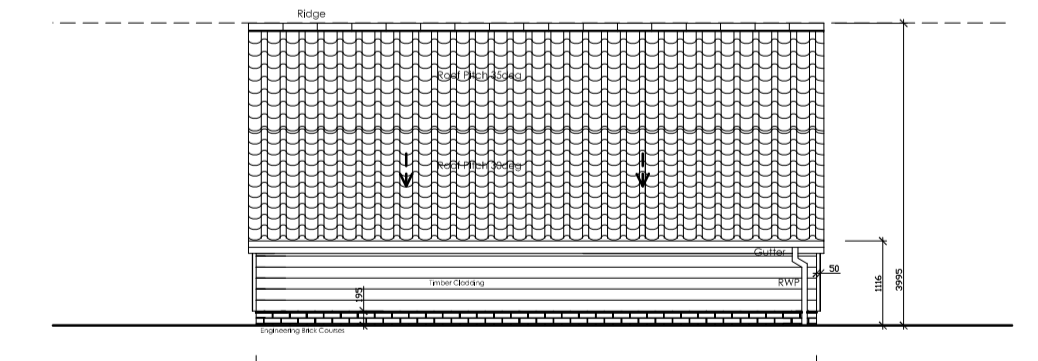
Scale 1:100 @ A1

- Red Clay Pantiles
- Black Powder Coated Aluminium Guttering and Downpipes
- Oak Timber Framing to Openings
- Horizontal Timber Cladding
- Red Re-Claimed Brick Base



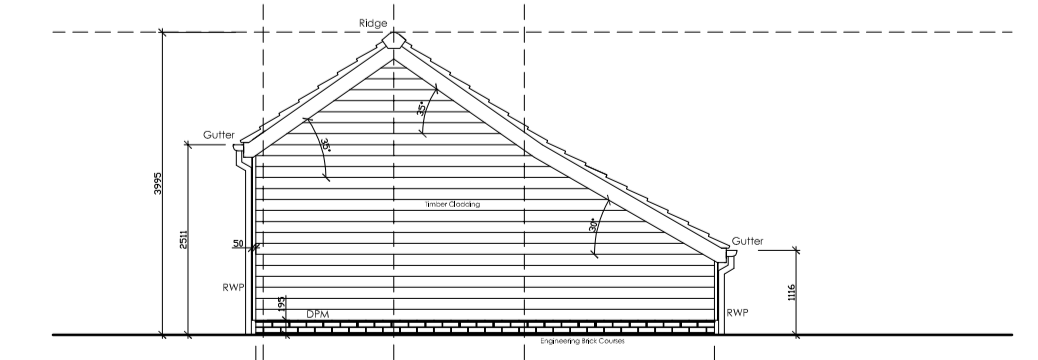
Proposed Garden Elevation showing Outdoor Kitchen Door Closed

Scale 1:100 @ A1



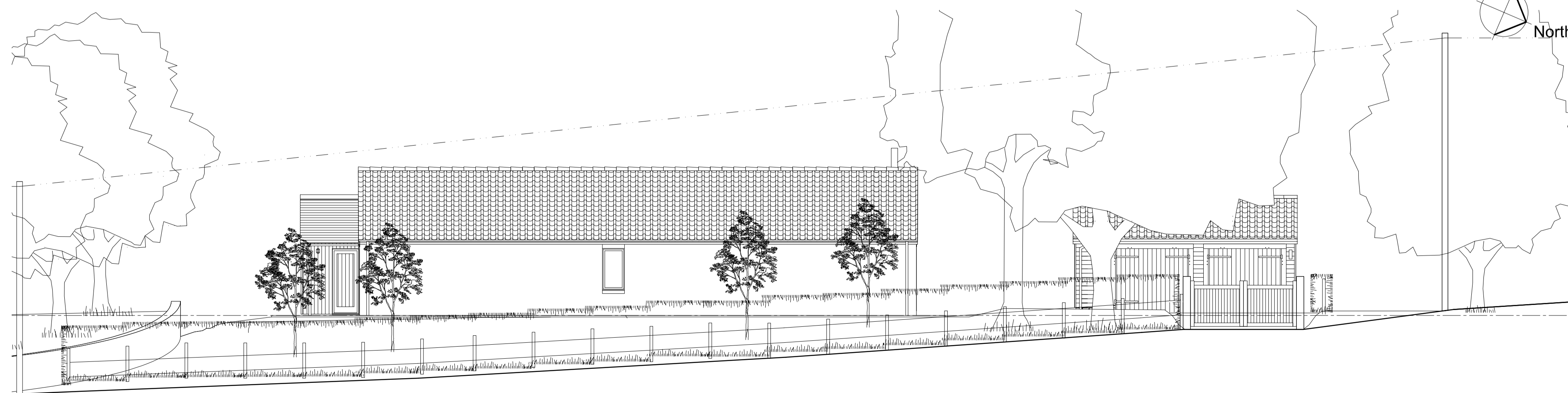
Proposed West Rear Elevation

Scale 1:100 @ A1



Proposed North Side Elevation

Scale 1:100 @ A1



Proposed Chantry Lane Street Elevation

Scale 1:100 @ A1

Rev	Comments	Drawn	Apprd	Date
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Client: Mrs Sharon Wolstencroft

Project: Proposed Garage @
West View Barn, Chantry Lane, Etton, Beverley,
East Riding of Yorkshire HU17 7PE

Title: Proposed Ground Floor Site Plan, Roof Plan,
Proposed Chantry Lane Street Elevation
and Proposed Garage Elevations and Section

Scale: 1:100 @ A1 / 1:200 @ A3

Project Number: 2022.120
Drawing Number: 701
Rev: C

Note: This drawing is to be read in conjunction with all related drawings and documentation.
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Introduction

Bruno Peek CVO OBE OPR, Pageantmaster

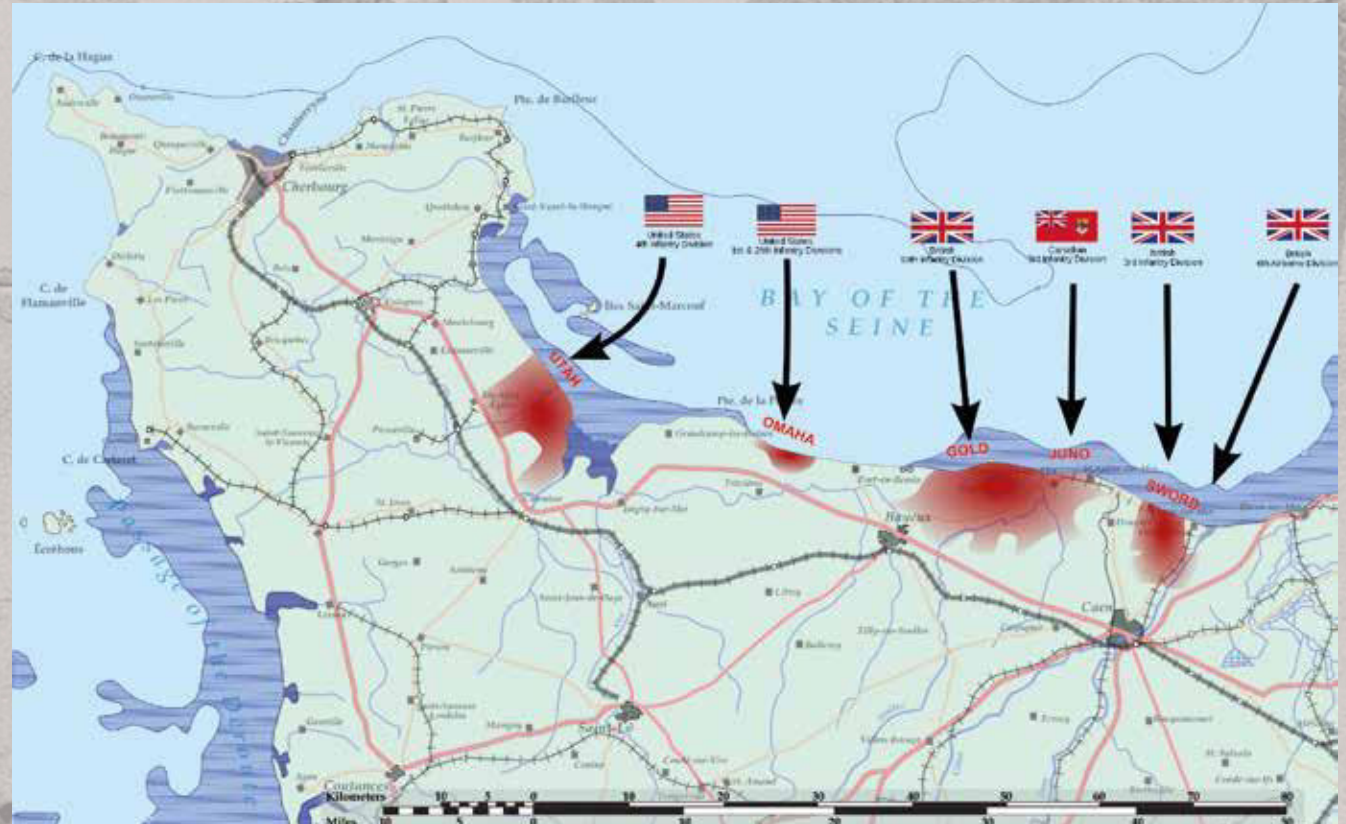


The 6th June 2024 marks the 80th anniversary of D-Day, when Allied forces mounted the largest amphibious invasion the world has ever witnessed. In 1944 Operation Overlord saw over 5,000 ships and landing craft set down more than 130,000 troops on five Normandy beaches in an action that would bring about the liberation of north-west Europe from Nazi occupation.

The bravery and sacrifice of those people in securing the peace and freedom we enjoy today will be observed by the lighting of beacons around the United Kingdom, Channel Islands, Isle of Man and UK Overseas Territories. I hope your community will join us.

We are asking villages, towns, cities and organisations of all sizes to mark the 80th anniversary of D-Day by lighting a beacon at 9.45pm on 6th June 2024, followed by an event to commemorate one of the most momentous achievements in living memory. Your event could be devoted to raising valuable funds for The Royal Naval Association, ABF The Soldiers' Charity, The Royal Air Force Benevolent Fund and The Merchant Navy Association. You will find details of how to participate on **pages 8 to 18** of this guide.

It is our country's opportunity to remember the 210,000 Allied casualties of Operation Overlord. This includes nearly 37,000 ground forces and 16,000 air forces killed in the invasion of Normandy's Utah, Omaha, Gold, Juno and Sword beaches, and the long and bloody campaign that followed. We plan to light beacons on all five beaches to remember those who died or came home wounded.



Air plan for landings in Normandy June 1944. Background photo: British troops landing on Sword Beach. © Robert Hunt Library/Mary Evans Picture Library.

The statistics behind the successful operation, which eventually convinced the Nazi high command that their defeat was inevitable, are both shocking and awe inspiring. German defence forces were drawn away from Normandy by distraction tactics as resources were secretly built up on the English coast.

Nine million tonnes of supplies and equipment were shipped across the Atlantic and 1.4 million American servicemen arrived to

join a substantial contingent of Canadian forces. By 1944 over two million troops from 12 countries were in Britain preparing for the invasion. On D-Day, American, British and Canadian troops were augmented by personnel from Australia, Belgium, Czechoslovakia, the Netherlands, France, Greece, New Zealand, Norway, Rhodesia and Poland. Soon after midnight on 6th June, more than 180,000 Allied paratroopers were dropped into the invasion area, and Allied air crews flew over 14,000 sorties to support the landings.



Operation Neptune, the naval phase of the campaign, saw nearly 7,000 vessels, including battleships, destroyers, minesweepers and assault craft, escorting and landing the ground troops on the beaches and bombarding German coastal defences.



There were approximately 156,000 Allied troops that landed in Normandy by sea and air on D-Day, of whom around 130,000 landed on the beaches, so you might be surprised to learn that despite the extraordinary courage displayed by so many on 6th June 1944, just one Victoria Cross was awarded. It went to **Company Sergeant Major Stanley Hollis** of the 6th Battalion, The Green Howards, who landed on Gold Beach. During an intense day of fighting, Stan Hollis took two enemy pillboxes and a field gun and crew, capturing 30 Germans single-handedly. The citation for the Yorkshireman's VC, presented by King George VI, says: "It was largely



Company Sergeant Major Stanley Hollis VC.
© Imperial War Museum.

through his heroism and resource that the Company's objectives were gained and casualties were not heavier, and by his own bravery he saved the lives of many of his men."

Already battle-hardened at the age of 31, Stan should have been one of the most famous soldiers of WW2 but was a naturally modest man and after the war worked in a number of trades before becoming a publican.

His earliest job, however, was working in his father's fish and chip shop in Robin Hood's Bay. Fittingly, fish and chips will play a major part in the



D-Day 80 commemorations. They were never rationed during the war and the words were even used as code by British paratroopers dropped behind enemy lines to identify friendly soldiers nearby – one calling out 'fish' and hopefully getting the reply 'chips'.

Thanks to the generous support and involvement of the National Federation of Fish Friers, thousands of fish and chip shops around the United Kingdom will take part in the day's activities. Schools, pubs, hotels and restaurants etc, are also encouraged to get involved by serving up this great British tradition in tribute to those who gave so much, and to raise valuable funds for the four charities involved.



Cap badge of the Yorkshire Regiment.

The International 80th Anniversary D-Day Beacon will be lit in Normandy at **8.15pm** (British Summer Time), at the British Normandy Memorial overlooking Gold Beach, with the other Beacons located on Utah, Omaha, Juno and Sword beaches being lit at **8.30pm** BST, followed by the Principal United Kingdom, Channel Islands and Isle of Man Beacon at Portsmouth, England at **9.15pm** BST. As the Beacons are lit, we



would ask all communities in France and the UK to stop what they are doing and undertake **The International Tribute**, using the wording found on **page 16**. This could be undertaken by your Lord Mayor, Mayor, High Steward, Town and Parish Clerk, Town Crier, Pub Landlord or even a young person from one of your local youth organisations etc, paying their tribute to those who gave so much to enable us to enjoy the many years of peace and freedom we have enjoyed since the Second World War.

D-Day was a monumental campaign to rid Europe of Nazi horror, and the 80th anniversary of this remarkable operation deserves the recognition and gratitude of our country. Please join us on 6th June 2024 to commemorate the sacrifices made by so many in our name.



Bruno Peek

Bruno Peek CVO OBE OPR
Pageantmaster
D-Day 80 Anniversary 6 June 2024
www.d-day80beacons.co.uk



Extract from the Devolution Deal

Summary of the Devolution Deal between Government and the Local Authorities of Hull and East Yorkshire, comprising Kingston upon Hull City Council and East Riding of Yorkshire Council

- The Government and Hull and East Yorkshire are minded to agree a devolution deal which will provide the area with new powers and funding to increase opportunities and living standards through inclusive growth and productivity improvements. A devolution agreement is contingent upon Hull and East Yorkshire proceeding through the steps necessary to meet the governance criteria required for a Level 3 devolution deal. This devolution agreement includes:
- The formation of the Hull & East Yorkshire MCA, and the election of a directly elected mayor to provide overall vision and leadership, seek the best value for taxpayers' money, be directly accountable to the area's electorate and to receive new powers on transport, housing and skills.
- Control of a £13.34 million per year allocation of investment funding, worth £400 million over 30 years, 35% capital and 65% revenue, to be invested by the Hull & East Yorkshire MCA to drive growth and take forward its priorities over the long term.
- Up to £15 million capital funding in the current Spending Review period to support transport, flood and coastal erosion programmes across the area, a brownfield employment programme in Hull, and a coastal regeneration programme in the East Riding of Yorkshire. This investment is subject to agreement of the relevant business cases.
- Up to £5 million of capital funding in the current Spending Review period to further support Hull and East Yorkshire's economic growth priorities, including any further expansion of the Siemens Gamesa Offshore Wind Facility, subject to a full business case and clear value for money.
- £4.6 million for the building of new homes on brownfield land in 2024/25, subject to sufficient eligible projects for funding being identified.
- £2 million of Mayoral Capacity Funding over 3 years (FY 2024/25 – 2026/27) to support the Hull and East Yorkshire MCA in the early stages of this deal.
- UK Shared Prosperity Fund (UKSPF) planning and delivery at a strategic level from 2025/26, subject to funding, policy and delivery considerations at the next Spending Review.
- New powers to shape local skills provision to better meet the needs of the local economy and local people, including devolution of the core Adult Education Budget, as well as input into the new Local Skills Improvement Plans.
- New powers to drive the regeneration of the area and to build more affordable homes including compulsory purchase powers and the ability to establish Mayoral Development Corporations.
- New powers to improve and better integrate local transport, including the ability to introduce bus franchising, and control of appropriate local transport functions.
- Responsibility for a consolidated local transport settlement for the Hull & East Yorkshire MCA, which Government will provide Hull & East Yorkshire MCA at the next Spending Review.
- A commitment to explore a new rail partnership with Great British Railways, once established, so their priorities can be taken into consideration in future decisions regarding

their local network. Observer representation from Department for Energy, Security and Net Zero on the Humber Energy Board, through which they will support the development of a Net Zero Strategy.

- A commitment for Hull & East Yorkshire MCA and a subset of the Department for Culture, Media and Sport's arm's length bodies to establish a collaborative partnership to share expertise and insight across culture, heritage, sport, communities and the visitor economy.
- A commitment for Government to consider the development of a specialist med- tech business park in Hull, including exploring support for Phase 1 of the project, subject to further discussions.

More information available at

https://www.heydevolution.com/?utm_source=eastriding.gov.uk&utm_medium=redirect

Etton Parish Council December 2023 Accounts

	Budget	Spent so Far	Predicted Year End	Notes
<u>Expenditure</u>	£	£	£	
Clerk's Salary	1265	900.35	1265	
Admin/Expenses	350	62.17	250	
Audit Fees	231	235.00	235	
Hire of Village Hall	100	0.00	100	
Subscriptions	35	35.00	35	
Insurance	410	0.00	400	
Grants / S157 / Entertainment	1000	523.15	673.15	(Some Coronation Spend in previous financial year)
Footway Lighting	2219	2,136.22	2,919.83	£2136 Service Level Agreement, £700 for installation of new post
Pond / War Memorial / Open Spaces	1100	3,017.65	3,017.65	£1000 Church Way resurfacing carried forward from last financial year, £706 Coronation Bench, 287 life saving device and storage, £250 defib maintenance
Total Expenditure	6710	6910	8895.63	1986
	Budget	Received so Far	Predicted Year End	
<u>Income</u>				
Precept	6095	6095	6095	
Interest	1	68.18	100	
Grants / Donations	0	1512.57	1512.57	
Allocated Reserves	1614	1614	1614	
Total Income	7710	9289.75	9321.57	
Expenditure Less Income	-1000.00	-2380.21	-425.94	

Proposed Etton Parish Council Budget 2024/25

	2021/22 Outturn	2022/23 Outturn	2023/24 Budget	2023/24 Predicted Outturn	Proposed 2024/25 Budget	Notes on 2024/25 Budget
Expenditure						
Clerk's Salary	1210.19	1121	1265	1265	1342.1	National 6% pay award
Admin/Expenses / Printing	385.61	279	350	250	350	
Audit Fees	200	215	231	235	250	
Hire of Village Hall	66	66	100	100	120	
Subscriptions	35	35	35	35	35	
Insurance	737.54	375.00	410	410	410	
Grants / Section 157 / Entertainment	1056.43	2,429.00	1000	673.15	615.49	£260 Xmas, £170 Picnic, £170 D-Day
Footway Lighting	1195.06	2,220.00	2219	2919.83	2136	ERYC advise SLA can be reduced by approx 40% (£885) by moving to cheaper LED lights
Pond / War Memorial / Open Spaces	3553.69	12,916.00	1100	3017.65	1300	Gardening £600 and £200 Defib Maintenance, use up £500 donations for pond
Total Expenditure	8439.52	19656	6710	8895.63	6558.59	
Income						
Interest	0.89	22	15	100	100	
Precept	5540	5717	6095	6095	5958.59	0% increase in precept
Donations/Grants	158.76	12700	12498	1512.57	0	
Draw from Reserves	2739.87	3700.37	1418	1614	500	
Total Income	8439.52	22139.37	20026	9321.57	6558.59	
End of Year Reserves	6455	3578	2160	3372	2872	

November 23 - January 2024

Expenditure Authorised outside of the meeting for Noting

Payee	Detail	Total Cost	VAT
Clerk	Christmas Newsletter Printing	36.00	1.13
Clerk	Refreshments for Xmas Light Switch On	125.47	16.22
Councillor Holmes	Christmas Tree		
Clerk	120 Hedge Whips	119.16	TBC
ERYC	Street Lighting SLA	2,563.46	427.24

Expenditure for Authorising

Item	Description	Total (£)	VAT (£)
1) Alan Bravey	January / February Salary	107.92	-
2) HMRC	January/ February PAYE	71.20	-
3) Alan Bravey	120 Additional Hedge Whips from ring fenced pond fund	119.15	-